

# MASIPALA WASE THEEWATERSKLOOF MUNISIPALITEIT

Munisipale Kantoor/Municipal Office  
Pleinstraat/Plein Street  
Posbus/P.O Box 24  
CALEDON  
7230



Tel. no.: 028 214 3300  
Faks/Fax no.: 028 214 1289  
E-pos/E-mail:twkmun@twk.org.za

Our Reference Number: FA 465/22  
Your Reference Number:  
Enquiries: Sunet du Toit, 028 214 3300 / sunetdu@twk.org.za

Date: 25 March 2019

## REGISTERED MAIL

Marcus Smit Jacobs Architects  
P O Box 3060  
SOMERSET WEST  
7129

(PER E-MAIL: ansu@marcusmit.co.za)

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## DECISION LETTER TO APPLICANT

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Dear Mr/Mrs/Ms

### APPLICATION FOR DEPARTURE: PORTION 22 OF THE FARM JAN NIEMANDS BOSCH NO. 465, CALEDON DISTRICT.

1. This Municipality's letter dated 31 May 2018, refers.
2. The Authorised Employee, on 20 March 2019 **approved, in whole** your application for **Permanent Departure** on Portion 22 of Farm No. 465, Caledon District, to relax the prescribed western and southern building lines from 30m to 17,98m and 18,37m respectively, as depicted on Site Development Plan Drawing No. 101, drawn by Marcus Smit Jacobs Architects, dated 26 June 2018 in terms of Section 60 of the Theewaterskloof Municipality: By-law on Municipal Land Use Planning, 2015.
3. **Reasons** for the above decision are as follows:
  - 3.1. Currently there are no dwellings on the property and the proposed main house is considered as a primary right.
  - 3.2. The location of the main dwelling is specifically chosen to take advantage of the view to the west.
  - 3.3. The proposed development will have a minimal impact on surrounding land use rights;
  - 3.4. The property is readily accessible from existing road infrastructure.
  - 3.5. There will be minimal impact on municipal services.

- 3.6. The departure from 30m to 17.980m and 18.370m will deviate with 40%, which means 60% of the development parameter will still be applicable; therefore the deviation can be supported.
4. **The abovementioned approval is subject to the following conditions in terms of Section 66 of the Theewaterskloof Municipality: By-law on Municipal Land Use Planning:**
- 4.1. The approval for the abovementioned application shall lapse if not exercised within 2 years after the expiry of the period contemplated in Section 79(2), subject to Section 18(2) of the Theewaterskloof Municipality: By-law on Municipal Land Use Planning, 2015.
- 4.2. This approval shall lapse if not exercised within 2 years from date of final notification subject to Section 18(2) of the Theewaterskloof Municipality By-law on Land Use Planning (2015).
- 4.3. The proposed departure generally be in accordance with Site Development Plan Drawing No. 101, drawn by Marcus Smit Jacobs Architects, dated 26 June 2018.
- 4.4. All applicable zoning parameters shall remain in force and must be adhered to.
- 4.5. The approval of this application does not exempt the applicant from compliance with any other legislation.
- 4.6. No stormwater runoff containing waste, or water containing waste emanating from the premises may be discharged into any water resource.
- 4.7. A service level agreement must be entered into with the municipality to ensure that the Conservancy tank be installed on municipal standards.
- 4.8. The applicant to consult with Eskom to determine the position of existing services.
5. You are hereby informed of your right to appeal to the Appeal Authority in terms of section 79(2) and 80 of the said legislation.
- 5.1. The attached appeal form must be completed and should be directed to the Appeal Authority and received by the Theewaterskloof Municipality, 6 Plein Street, Caledon, 7230 telephone: 028 214 3300, within 21 days of notification of this decision together with proof of payment of the appeal fee.
- 5.2. You are requested to simultaneously serve notice of the appeal on any person who commented on the application and any other persons as the Municipality may determine (see attached list). Proof of serving the notification must be submitted to the Municipality, within 14 days of serving the notification.
- 5.3. The notice must be served in accordance with section 35 of the said legislation and in accordance with the additional requirements as may be determined by the Municipality. The notice must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
6. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Yours faithfully



**J JANSEN VAN RENSBURG**  
**ACTING MANAGER: TOWN PLANNING AND BUILDING CONTROL**



DIRECTORATE: DEVELOPMENT MANAGEMENT  
(REGION 1)

**REFERENCE:** 16/3/3/6/1/E4/11/1407/18  
**ENQUIRIES:** Lorretta Osborne  
**DATE:** 2019 -01- 22

The Board of Directors  
South Hill Vineyards (Pty) Ltd  
PO Box 120  
**ELGIN**  
7180

**Attention: Mr K.A King**

Tel: (021) 844 0888  
E-mail: kevin@southhill.co.za

Dear Sir

**APPLICABILITY OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT, 1998 (ACT NO. 107 OF 1998) ENVIRONMENTAL IMPACT ASSESSMENT REGULATIONS, 2014 (AS AMENDED) WITH RESPECT TO THE PROPOSED DEVELOPMENT OF A SINGLE DWELLING ON PORTION 22 OF FARM JAN NIEMANDS BOSCH NO. 465, GRABOUW**

1. The document dated October 2018, as received by the Department on 13 November 2018 and the Departmental letter issued on 23 November 2018, refer.
2. Following review of the information submitted to the Department, the following is noted:
  - 2.1 The proposal entails the development of a single dwelling on the abovementioned farm.
  - 2.2 The total development footprint will be 632m<sup>2</sup>, but since the house will be developed on concrete column platforms, the development footprint will be 227m<sup>2</sup>.
  - 2.3 The site is largely devoid of vegetation.
  - 2.4 There is existing dams on the site.
  - 2.5 The dwelling will be developed from the outside embankment along the dam wall, with the deck and swimming pool located on pillars in the dam.
  - 2.6 A conservancy tank with a footprint of 13m<sup>2</sup> will be installed underground and a water reservoir of 45m<sup>2</sup>.
  - 2.7 The site does not fall within a Critical Biodiversity Area.
  - 2.8 According to the National Vegetation Map, the Kogelberg Sandstone Fynbos vegetation type, which is classified as critically endangered in terms of the Section 52 of NEMBA, is located on the site.

3. Your attention is therefore drawn to the listed activities in terms of the NEMA EIA Regulations 2014 (as amended) as defined in Listing Notices ("LN") 1, 2 & 3 of 2014. Be advised that,
 

6 <sup>th</sup> Floor, 1 Dorp Street, Cape Town, 8001	Private Bag X9086, Cape Town, 8000
Tel: +27 21 483 3696/4349 Fax: +27 21 483 3098	www.westerncape.gov.za/eadp
E-mail: <a href="mailto:Lorretta.Osborne@westerncape.gov.za">Lorretta.Osborne@westerncape.gov.za</a>	

based on the information provided, the **proposed development of a single dwelling** on Portion 22 of Farm Jan Niemands Bosch No. 465, Grabouw does not constitute any listed activities as defined in terms of the EIA Regulations, 2014 (as amended).

4. The above-mentioned is based on the following:
  - The proposal does not trigger any thresholds of the listed activities as defined in terms of the NEMA EIA Regulations, 2014 (as amended).
  - The area to be cleared is less than 300m<sup>2</sup>.
  - No infilling, depositing or dredging will take place within a natural watercourse.
5. However, should any revision of the proposed development constitute a listed activity(ies) as defined terms of Listing Notice 1, 2 & 3, an application must be submitted and environmental authorisation obtained before such activity(ies) may commence.
6. The applicant is reminded of his/her general duty of care and the remediation of environmental damage, Section 28(1) of NEMA specifically states that – *“Every person who causes, has caused or may cause significant pollution or degradation of the environment must take reasonable measures to prevent such pollution or degradation from occurring, continuing or recurring, or, in so far as such harm to the environment is authorised by law or cannot reasonably be avoided or stopped, to minimise and rectify such pollution or degradation of the environment.”*
7. Please note that the applicant must comply with any other statutory requirements that may be applicable to the undertaking of the activity.
8. The Department reserves the right to revise its comments and request further information from you based on any new or revised information received.

Yours faithfully

*PP Braaf*

**HEAD OF COMPONENT  
ENVIRONMENTAL IMPACT MANAGEMENT SERVICES: REGION 1  
DEPARTMENT OF ENVIRONMENTAL AFFAIRS AND DEVELOPMENT PLANNING**

CC: (1) [Jacques.la@twk.org.za](mailto:Jacques.la@twk.org.za) (Theewaterskloof Municipality)  
(2) Ms O Braaf (Braaf Environmental Practitioners SA (Pty) Ltd)

Fax: (086) 658 7676



## SCIENTIFIC SERVICES

**postal** Private Bag X5014 Stellenbosch 7599  
**physical** Assegaaibosch Nature Reserve Jonkershoek  
**website** www.capenature.co.za  
**enquiries** Chanel Rampartab  
**telephone** +27 21 866 8017 **fax** +27 21 866 1523  
**email** crampartab@capenature.co.za  
**reference** SSD14/2/5/1/7/4/465-22\_dwelling\_Elgin  
**date** 4 January 2019

Theewaterskloof Municipality  
P.O. Box 24  
Caledon  
7230

Attention: Sunet du Toit

Dear Ms du Toit

**Application for building lines relaxation to construct new dwelling on FA 465/22, Elgin**  
(Theewaterskloof Municipality ref: FA 465/22)

CapeNature would like to thank you for the opportunity to comment on the application and would like to make the following comments. Please note that our comments only pertain to the biodiversity-related impacts and not to the overall desirability of the application.

The application is for the relaxation of building lines to accommodate a new dwelling on FA 465/22, Elgin.

The dwelling will be built alongside an existing farm dam, which is an artificial bench wetland and a National Freshwater Ecosystem Priority Area. Critically endangered Kogelberg Sandstone Fynbos would have occurred naturally; however, according to the Western Cape Biodiversity Spatial Plan (CapeNature 2017) and satellite imagery, the site contains no natural vegetation and is surrounded by vineyards and other farm dams.

Given the relatively flat gradient and close proximity of the dwelling to the surrounding dams, the dwelling may become inundated should any of the dams overflow. While this is unlikely to have any significant impacts on biodiversity, the applicant should ensure that there are sufficient mitigation measures to ensure such inundation does not occur.

In conclusion, CapeNature foresees no significant impacts on biodiversity and therefore does not object to the application.

CapeNature reserves the right to revise initial comments and request further information based on any additional information that may be received.

Yours sincerely

A handwritten signature in black ink that reads "Rampartab".

**Chanel Rampartab**  
**For: Manager (Scientific Services)**

# BREEDE-GOURITZ

Catchment Management Agency  
Opvanggebied Bestuursagentskap  
I-Arhente yoLawulo lomMandla nokungqongileyo

51 Baring Street Worcester 6850, Private Bag X3055 Worcester 6850

E-mail: [vligudu@bgcma.co.za](mailto:vligudu@bgcma.co.za)

Cell: 0834093777

Navrae / Enquiries / Imbuzo:



Verwysing: / Reference / IReferensi:

Datum: / Date:

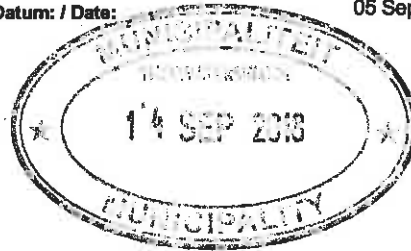
V Ligudu

023 346 8000

4/10/1/G40D/Farm 465/22,  
Caledon

05 September 2018

The Municipal Manager  
Theewaterskloof Municipality  
P. O. Box 24  
Caledon  
7230



Attention: Sunet du Toit

## APPLICATION FOR DEPARTURE: PORTION 22 OF THE FARM JAN NIEMANDS BOSCH NO. 465, CALEDON.

With reference to the application received 01 August 2018, requesting comments.

The Breede-Gouritz Catchment Management Agency (BGCMA) in principle has no objection to the proposed application, subject to the following conditions:

- All relevant sections and regulations of the National Water Act, 1998 (Act 36 of 1998) regarding water use must be adhered to.
- No storm water runoff from any premises containing waste, or water containing waste emanating from premises may be discharged into a water resource.
- The minimizing of waste must be promoted and alternative methods for waste management must be investigated.

### Disposal of sewage

- The disposal of sewage must at all times comply with the requirements of Sections 22 and 40 of the National Water Act of 1998, (Act 36 of 1998).
- When a conservancy tank is used for the disposal of sewerage, this office must be furnished with a signed copy of the contract between the contractor or the municipality which is appointed to pump the conservancy tank.

- The volume of sewage needs to be metered on a monthly basis and removal programme needs to be scheduled to ensure that the conservancy tank is pumped well within time before overflowing. Alternatively, floating devices should be installed within the tanks that initiate an alarm of 75% full capacity for collection and disposal.
- The tank must be provided with a fresh air inlet and an intercepting grease trap.
- The tank must have an airtight manhole cover to allow access to the tank for the removal and safe disposal of the tank contents.
- No industrial waste or refuse may be discharged into the conservancy tank except by written agreements with the relevant authorities.
- The size of the conservancy tank must be determined by both the frequency of removal of its contents to the local Wastewater Treatment Works and by the quantity of sewage anticipated from the above-mentioned project.
- The contents of the tank must be removed by a vacuum tanker and conveyed to a local Wastewater Treatment Works that is capable of processing the volume and contents of the conservancy tank.
- The contingency plan must be drawn up to protect against overflow of the conservancy tank.
- Ingress of storm water into the conservancy tank must be prevented.
- The conservancy tanks must be located out of the 1:100 year flood line of any water resource.

**Water for domestic use**

- Water provided for domestic use must comply with the SANS 241: 2015 guidelines for drinking water.

The BGCMA reserves the right to revise initial comments and request further information based on any additional information that may be received.

Please contact the above-mentioned official if you have any queries.

Yours faithfully

*J. Van Staden*

**JAN VAN STADEN**  
**ACTING CHIEF EXECUTIVE OFFICER**

**THEEWATERSKLOOF MUNICIPALITY**  
Per email: [sunetdu@twk.org.za](mailto:sunetdu@twk.org.za)

**Date:**  
17 August 2018

**Enquires:**  
Mr. Antonio Coerecuis  
Tel: 021 980 3866  
Fax: 021 980 3053  
[antonio.coerecuis@eskom.co.za](mailto:antonio.coerecuis@eskom.co.za)

**Attention: SUNET DU TOIT**

Dear Madam

**PLEASE NOTE: THIS IS NOT A WORKING PERMIT. OBTAIN WORKING PERMIT FROM CUSTOMER NETWORK CENTRE – GRABOUW CNC**

**APPLICATION FOR WAYLEAVE: APPLICATION FOR DEPARTURE: PORTION 22 OF THE FARM JAN NIEMANDS BOSCH NO 465, CALEDON**

**YOUR REF: Fa 465/22**  
**OUR REF: 02606/18**

I refer to your application dated 27 July 2018.

I hereby inform you that Eskom has no objection on the proposed work. This approval is valid for **12 months** only, after which reapplication must be made if the work has not been completed.

This application affects the following Eskom power lines and servitudes.

- **11kV OVERHEAD POWERLINE**

**THIS IS NOT AN APPROVAL TO UNDERTAKE ANY WORK WITHIN ESKOM RIGHTS.**

- a) The following Servitude widths / building and tree restriction on **either side of centre line** of overhead power line must be observed:

Voltage	Servitude / Building restriction either side of centre line
11kV	9.0 m
66kV	11.0 m
132kV	15.5 m





- b) No construction work may be executed closer than **6 (SIX) metres** from any Eskom structure or structure-supporting mechanism.
- c) No building may be erected within **3 (THREE) metres** from any Eskom underground cable.
- d) No work or no machinery nearer than the following **distances from the conductors:**

Voltage	Not closer than:
11kV	3.0 m
66kV	3.2 m
132kV	3.8 m

- e) Natural ground level must be maintained within Eskom reserve areas and servitudes.
- f) That a **minimum ground clearance** of the overhead power line must be maintained to the following clearances:

Voltage	Safety clearance above road:
11kV	6.3 m
66kV	6.9 m
132kV	7.5 m

- g) That existing Eskom power lines and infrastructure are acknowledged as established infrastructure on the properties and **any rerouting or relocation would be for the cost of the applicant/developer.**
- h) That Eskom rights or servitudes, including agreements with any of the landowners, obtained for the operation and maintenance of these existing power lines and infrastructure be acknowledged and honoured throughout its lifecycle which include, but are not limited to:
  - i. Having 24 hour access to its infrastructure according to the rights mentioned in (a) above,
  - ii. To perform maintenance (structural as well as servitude – vegetation management) on its infrastructure according to its maintenance programmes and schedules,
  - iii. To upgrade or refurbish its existing power lines and infrastructure as determined by Eskom,
  - iv. To perform any other activity not listed above to ensure the safe operation and maintenance of the Eskom power lines or infrastructure.
- i) Eskom must have at least a 10m obstruction free zone around all pylons (not just a 10m radius from the centre).
- j) Eskom shall not be liable for the death or injury of any person, or for loss of or damage to any property, whether as a result of the encroachment or use of the area where Eskom has its services, by the applicant, his/her agent, contractors, employees, successors in title and assignee.
- k) The applicant indemnifies Eskom against loss, claims or damages, including claims pertaining to interference with Eskom services, apparatus or otherwise.
- l) Eskom shall at all times have unobstructed access to and egress from its services.
- m) **Any development which necessitates the relocation of Eskom's services will be to the account of the developer.**
- n) **PLEASE CONTACT AND MAKE APPOINTMENT: GRABOUW CNC – SYDNEY MULLINS - 021 859 8020, BEFORE WORKING IN CLOSE PROXIMITY TO ANY ESKOM OVERHEAD POWER LINES.**

The above is a requirement under the **Occupational Health and Safety Act (Act No. 85 of 1993)** to ensure safety.

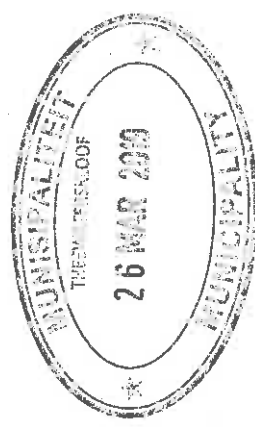
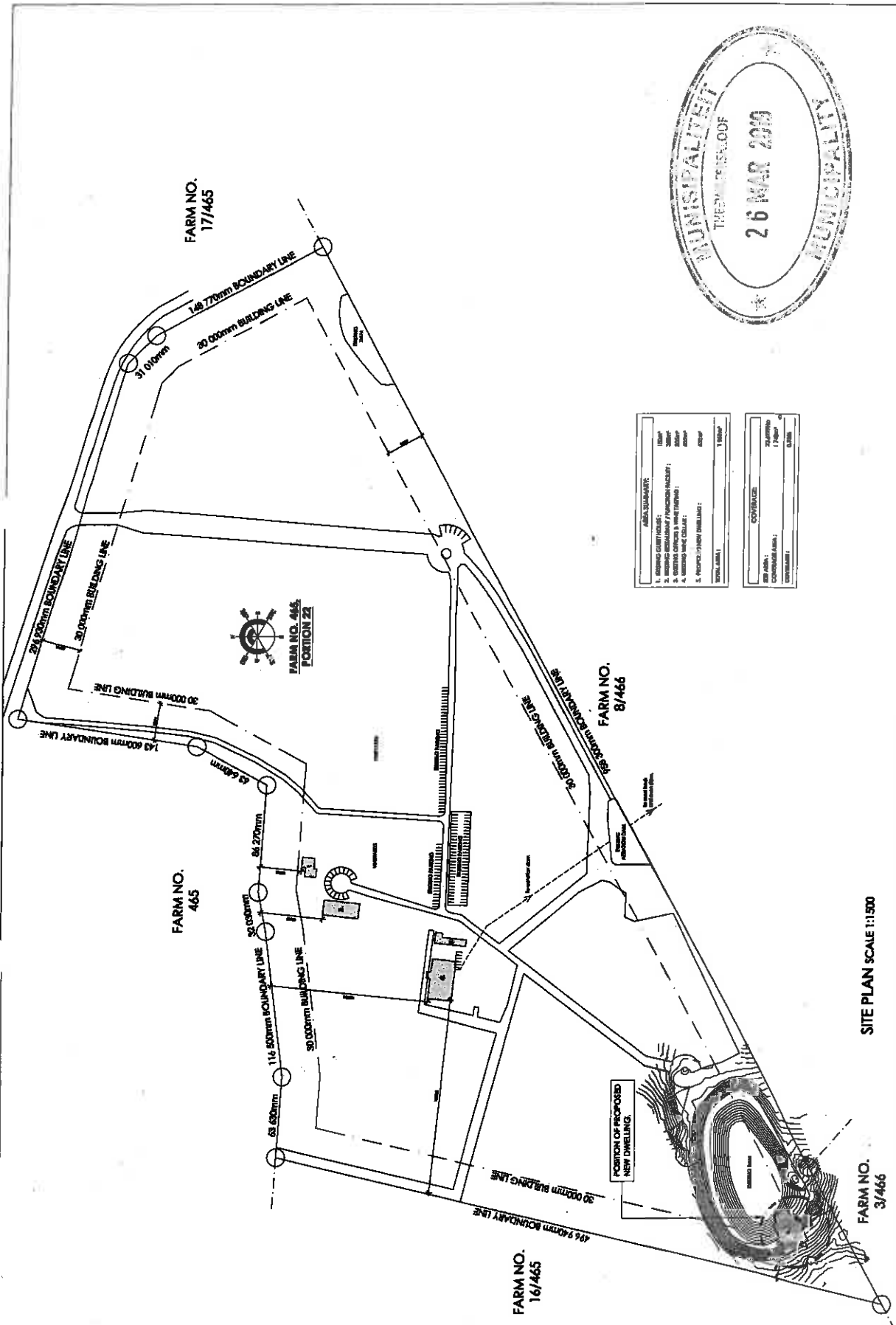
Should it be necessary to move any of the Eskom services a written request must be given to the local Eskom office. It must be noted that it will take 3 month or longer to move any power line and that the cost of moving a power line will be for the applicant's account.

Kindly contact **Antonio Coerecuis** at Tel: 021 980 3866, should you require any further information.

Yours sincerely



**Antonio Coerecuis**  
**LAND DEVELOPMENT (BRACKENFELL)**



1. AREA: 10000m <sup>2</sup>	1. 10000m <sup>2</sup>
2. AREA: 10000m <sup>2</sup>	2. 10000m <sup>2</sup>
3. AREA: 10000m <sup>2</sup>	3. 10000m <sup>2</sup>
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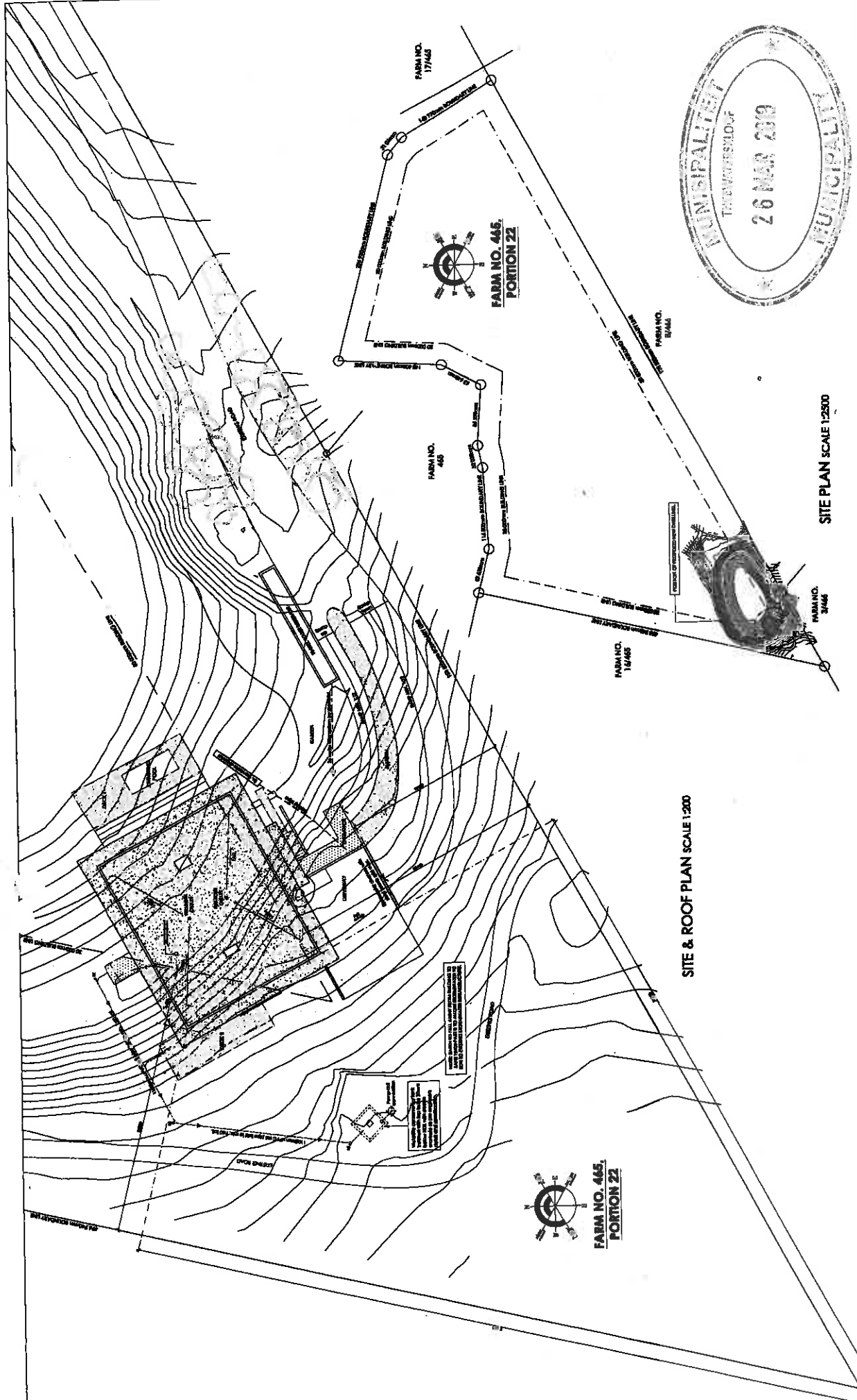
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Project No	2018/05	Drawing No	101	Revision No	
DOCUMENT CONTROL STATUS					
<b>COUNCIL SUBMISSION</b>					
Unless stamped the drawing is not a validated and should not be used.					
MARCUS SMIT JACOBS					

Project	PROPOSED NEW DWELLING ON FARM NO. 465, PORTION 22, GRABOUW
Client	SOUTH HILL VINEYARDS (Pty) Ltd
Owner	OWNER: SERRAVALLO
Architect	ARCHITECT: SERRAVALLO
Site Plan	SITE PLAN

Client	SOUTH HILL VINEYARDS (Pty) Ltd
Owner	OWNER: SERRAVALLO
Architect	ARCHITECT: SERRAVALLO
Site Plan	SITE PLAN

NOTE: All new foundations shall be concrete. All exterior walls shall be rendered. All exterior walls shall be finished with a minimum 100mm of floor area L.A. SANS 10400. All exterior walls shall be finished with a minimum 100mm of floor area L.A. SANS 10400. All exterior walls shall be finished with a minimum 100mm of floor area L.A. SANS 10400. All exterior walls shall be finished with a minimum 100mm of floor area L.A. SANS 10400.

Rev. No.	Description



Project	SOUTH HILL VINEYARDS (Pty) Ltd		Client	SOUTH HILL VINEYARDS (Pty) Ltd REGISTRARS: JACOBS - MARCUS SMIT - JACOBS HARRIS - JACOBS - JACOBS INC. 2018/07/15	
Drawn	15/03/2019	2018/05/07	Drawn	15/03/2019	2018/05/07
Revision No	A	100	Revision No	A	100
Project No	2018.05		Project No	2018.05	
Drawing No	100		Drawing No	100	
Author	MARCUS SMIT JACOBS		Author	MARCUS SMIT JACOBS	
<p>of documents to be submitted on the following work commences. Copyright reserved.</p> <p>DOCUMENT CONTROL STATUS</p> <p><b>COUNCIL SUBMISSION</b></p> <p>Unless exempted the drawings to not be published and should not be used.</p>					

**PROPOSED NEW DWELLING ON FARM NO. 465, PORTION 22, CHABOUW**

Drawing

**SITE PLAN**

**SITE & ROOF PLAN SCALE 1:200**

**NOTE:**

1. All new foundations shall be concrete on compacted fill.

2. All walls shall be constructed with concrete blocks.

3. All walls shall be finished with plaster and paint.

4. All walls shall be finished with plaster and paint.

5. All walls shall be finished with plaster and paint.

6. All walls shall be finished with plaster and paint.

7. All walls shall be finished with plaster and paint.

8. All walls shall be finished with plaster and paint.

9. All walls shall be finished with plaster and paint.

10. All walls shall be finished with plaster and paint.

Rev. No.	Date	Description
1	15/03/2019	Issue drawing

Revision	Date	Description
A	2018/05/07	Final Submission

NOTES:  
 All dimensions to be checked on site before any work commences. The contractor is responsible to construct.

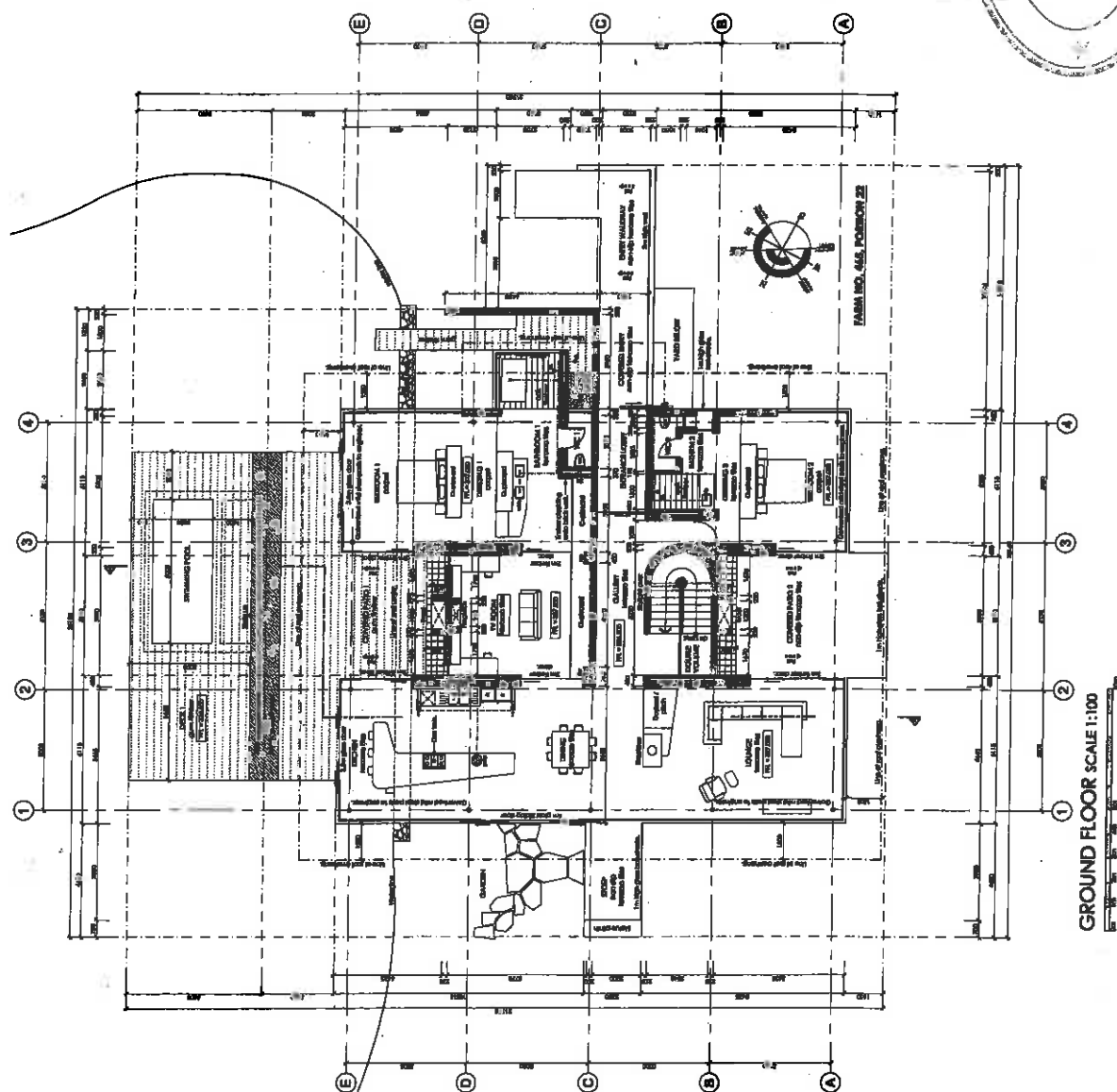
NOTES:  
 1. All dimensions to be checked on site before any work commences. The contractor is responsible to construct.  
 2. All construction to be in accordance with the relevant building codes and standards.  
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 9. All construction to be in accordance with the relevant building codes and standards.  
 10. All construction to be in accordance with the relevant building codes and standards.

OWNER SIGNATURE  
 REGISTERED ARCHITECT: MARCUS SMIT JACOBS  
 HANES JACOBS: SACAP NO. 201802  
 DOCUMENT CONTROL STATE  
**COUNCIL SUBMISSION**  
 Unless stamped this drawing is not validated and should not be used.  
 Client  
 SOUTH HILL VINEYARDS (Pty) Ltd  
 Project  
 PROPOSED NEW DWELLING ON FARM NO. 465, FORTION 22, GRABOUW  
 Drawing  
 GROUND FLOOR PLAN

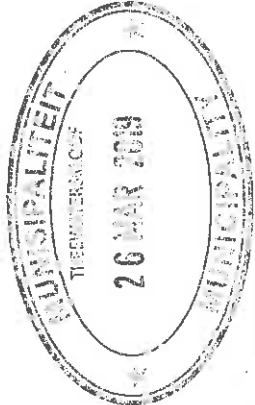
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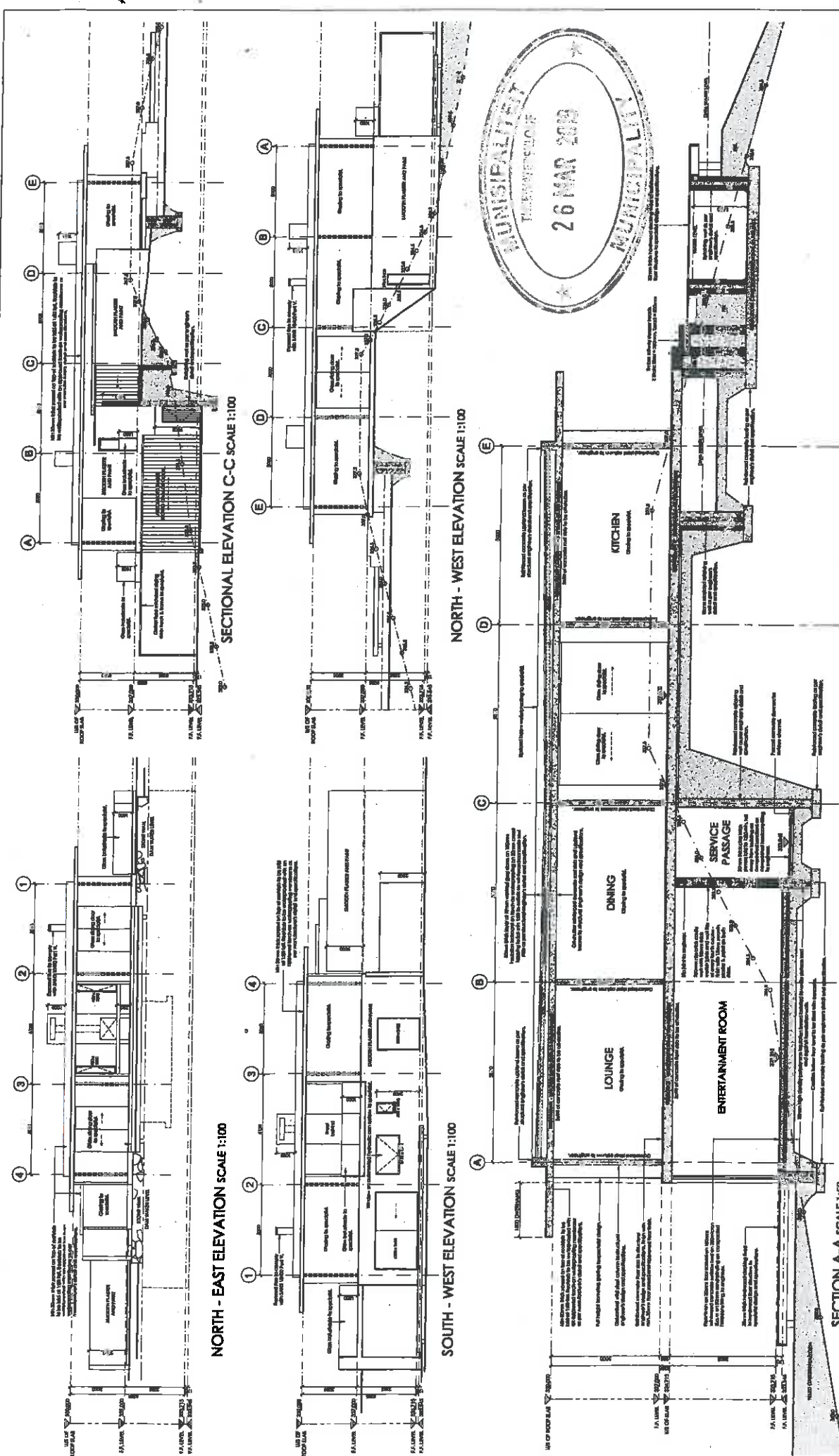
Project No	Drawing No	Revision No
201805	200	A

MARCUS SMIT JACOBS  
 1. All drawings to be in accordance with the relevant building codes and standards.  
 2. All drawings to be in accordance with the relevant building codes and standards.  
 3. All drawings to be in accordance with the relevant building codes and standards.  
 4. All drawings to be in accordance with the relevant building codes and standards.  
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 9. All drawings to be in accordance with the relevant building codes and standards.  
 10. All drawings to be in accordance with the relevant building codes and standards.



AREA CALCULATION	COVERED
COVERED AREA: 100.00	COVERED: 100.00
UNCOVERED AREA: 100.00	UNCOVERED: 100.00
TOTAL AREA: 200.00	TOTAL: 200.00





Rev. No.	Date	Description

Scale (A1)	1:500 1:100	Date	2018/09/04	Drawn	IG
Project No	3018.05	Drawing No	300	Revision No	
All drawings to be checked on site before any work commences. These drawings are to be used for information only. Copyright reserved.					
DOCUMENT CONTROL STATUS <b>COUNCIL SUBMISSION</b> When prepared this drawing is not validated and should not be used.					
PROJECT <b>PROPOSED NEW DWELLING ON FARM NO. 465, PORTION 22, GRABOUW</b> Drawing					
CLIENT <b>SOUTH HILL VINEYARDS (Pty) Ltd</b> CHANGE DRAWING REGISTERED ARCHITECT - MARCUS SMIT - SACAP REG. 5564 NUMBER JACOBS - SACAP REG. 2014/005					
SECTION A-A & ELEVATIONS					
NOTE: - Drawings to comply to SANS 10400 and to local Authority, etc., of each place. - All floor construction work to have concrete slab. - Natural ventilation to be minimum 5% of floor area (2.5m <sup>2</sup> SAWS). - All glazing to comply with requirements of SANS 10400-2008 - opaque glazing to be minimum 10% of floor area (2.5m <sup>2</sup> SAWS). - About 10% of the floor area to be minimum 10% of floor area (2.5m <sup>2</sup> SAWS). - All construction to SANS 10400 and local authority's standards. - All work to be done in accordance with the drawings and any other documents. - All work to be done in accordance with the drawings and any other documents. - All work to be done in accordance with the drawings and any other documents. - All work to be done in accordance with the drawings and any other documents. - All work to be done in accordance with the drawings and any other documents.					

MARCUS SMIT JACOBS  
 1011 10th Ave, Tumbourville, 7530  
 Tel: 011 202 342 3423  
 Fax: 011 202 342 3423  
 Email: info@msj.co.za

# MASIPALA WASE THEEWATERSKLOOF MUNISIPALITEIT

Munisipale Kantoor/Municipal Office  
 Pleinstraat/Plein Street  
 Posbus/P.O Box 24  
**CALEDON**  
 7230



Tel. no.: 028 214 3300  
 Faks/Fax no.: 028 214 1289  
 E-pos/E-mail: twkmun@twk.org.za

## APPEAL FORM

(Section 79 of the Proposed Standard Draft By-law on Municipal Land Use Planning)

**KINDLY NOTE:** Please complete this form using BLOCK capitals and ticking the appropriate boxes. Append this form to your letter of appeal which must comply with section 80 of the Theewaterskloof Standard By-law on Municipal Land Use Planning.

### PART A: APPEAL

Are you appealing against the decision made by the authorised employee or Tribunal?	Y	N	If Yes, indicate in Part E if the appeal is lodged against the whole decision or part thereof. If the latter applies provide a description of the part.
Are you appealing in respect of the failure of the authorised employee or Tribunal to make a decision within the period contemplated in section 57(1) or (2)?	Y	N	If Yes, provide facts that prove the failure in Part E.
Are you appealing against the condition(s) of approval imposed by the authorised employee or Tribunal?	Y	N	If Yes, list relevant condition(s) and provide a description in Part E.
Is your appeal based on and primarily concerned with the process followed prior to the authorised employee or Tribunal decision?	Y	N	If Yes, specify in Part E.
Is your appeal based on and primarily concerned with the merits of the land development or land use application on which it is believed that the authorised employee or Tribunal erred in coming to the conclusion?	Y	N	If Yes, specify in Part E.
Date of decision	DD/MM/YYYY	Date receiving notice of decision	DD/MM/YYYY
Who took the original decision?	<input checked="" type="checkbox"/>	Authorised employee	<input type="checkbox"/> Tribunal

### PART B: APPELLANT'S DETAILS

First name(s)	
Surname	

# MASIPALA WASE THEEWATERSKLOOF MUNISIPALITEIT

Munisipale Kantoor/Municipal Office  
 Pleinstraat/Plein Street  
 Posbus/P.O Box 24  
**CALEDON**  
 7230



Tel. no.: 028 214 3300  
 Faks/Fax no.: 028 214 1289  
 E-pos/E-mail: twkmun@twk.org.za

Company or legal person's name <i>(if applicable)</i>				
Postal address				Postal Code
Email				
Tel		Fax		Cell

**PART C: APPELLANT'S PROPERTY DESCRIPTION** *(Property that is affected by proposed development)*

Number(s) of Erf/Erven/Portion(s) or Farm(s), allotment area.				
Physical Address				
GPS Coordinates		Town/City		

**PART D: PROPERTY DESCRIPTION OF PROPOSED LAND DEVELOPMENT**

Number(s) of Erf/Erven/Portion(s) or Farm(s), allotment area.				
Physical Address				
GPS Coordinates		Town/City		

**PART E: APPEAL MOTIVATION AND REASONS\***

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 E-pos/E-mail: twkmun@twk.org.za

\* Appeal motivation, information and reasons may be attached.

## PART F: APPEAL FEE (for completion and use by official)

	<b>Appeal</b>	R
<b>TOTAL APPEAL FEES*</b>		R

\* Appeal fees that are paid to the Municipality are non-refundable and proof of payment of the application fees must accompany the application.

## BANKING DETAILS

Name:

Bank:

Branch no.:

Account no.:

**Payment reference:** .....

(If applicable)

## PART G: ATTACHMENTS AND SUPPORTING INFORMATION AND DOCUMENTATION

Complete the following checklist and attach all the information and documentation relevant to the appeal.

Y	N	Proof of payment of appeal fees (applicant)		Y	N	Proof of serving notice of appeal (applicant)
Y	N	Copy of decision and proof of notification		Y	N	Copy of conditions of approval
Y	N	Motivation and reasons for appeal		Y	N	Other (specify)

## SECTION H: DECLARATION

I hereby wish to confirm the following :

- That the information contained in this appeal form and accompanying documentation is complete and correct.
- I'm aware that it is an offense in terms of section 85(1)(e) of the said legislation to supply particulars,

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information or answers knowing the particulars, information or answers to be false, incorrect or misleading or not believing them to be correct.

Appellant's signature: \_\_\_\_\_

Date: \_\_\_\_\_

Full name: \_\_\_\_\_

## FOR OFFICE USE ONLY

Date received: \_\_\_\_\_

Received by: \_\_\_\_\_

Municipal Stamp