

MASIPALA WASE THEEWATERSKLOOF MUNISIPALITEIT

Munisipale Kantoor/Municipal Office
Pleinstraat/Plein Street
Posbus/P.O Box 24
CALEDON
7230



Tel. no.: 028 214 3300
Faks/Fax no.: 028 214 1289
E-pos/E-mail: twkmun@twk.org.za

Our Reference Number: FA 86/RE2
Your Reference Number:
Enquiries: Sunet du Toit, 028 214 3300 / sunetdu@twk.org.za

Date: 9 July 2019

REGISTERED MAIL

Mrs R Attwell
GRAG Architectural Design
P O Box 517
CALEDON
7230

Per E-mail: gragarchdesign@gmail.com

DECISION LETTER TO APPLICANT

Dear Mr/Mrs/Ms

APPLICATION FOR DEPARTURE: REMAINDER OF PORTION 2 OF THE FARM VYGEBOOM NR 86, CALEDON DISTRICT

1. This Municipality's letter dated 21 May 2018, refers.
2. The Authorised Employee, on 28 June 2019 **approved, in whole** your application for **Permanent Departure** to exceed the allowable floor space from 1000m² to 14191,5m² in accordance with Site Development Plan No.: FARM-2/86-VYEBOOM(2015-37)-03/A1-REV A, drawn by: CRAG Architectural Design, dated: 26 July 2018, in terms of section 60 of the By-law on Municipal Land Use Planning.
3. **Reasons** for the above decision are as follows:
 - 3.1. Existing engineering services will not be negatively affected.
 - 3.2. It is in line with the principles stipulated in the Spatial Planning and Land Use Management Act, 2013 (Act No. 16 of 2013) and Western Cape: Land Use Planning Act, 2014 (Act No. 3 of 2014).
 - 3.3. The proposal will not detract from the character of the surrounding area.
4. **The abovementioned approval is subject to the following conditions in terms of Section 66 of the Theewaterskloof Municipality: By-law on Municipal Land Use Planning:**
 - 4.1. The approval is valid for two (2) years, after the expiry of the period contemplated in Section 79(2), subject to Section 18(2) of the Theewaterskloof Municipality: By-law on Municipal Land Use Planning;

- 4.2. No building may be erected or work done within 9 (nine) metres from any Eskom 11/22 kV power line or bundle conductors;
 - 4.3. No building, structures or trees may be erected within 9 (nine) metres from either side of the centre line from any Eskom 11/22 kV overhead power line crossing the property;
 - 4.4. Complete building plans, for any built structure, must be submitted to the Department: Town Planning and Building Control for approval, before any construction activities commence;
 - 4.5. The approval of this application does not exempt the applicant/developer from compliance with any other legislation that might be/become applicable with regard to the proposed development; and
 - 4.6. Any service upgrades required will be for the cost of the owner/applicant.
5. You are hereby informed of your right to appeal to the Appeal Authority in terms of section 79(2) and 80 of the said legislation.
- 5.1. The attached appeal form must be completed and should be directed to the Appeal Authority and received by the Theewaterskloof Municipality, 6 Plein Street, Caledon, 7230 telephone: 028 214 3300, within 21 days of notification of this decision together with proof of payment of the appeal fee.
 - 5.2. You are requested to simultaneously serve notice of the appeal on any person who commented on the application and any other persons as the Municipality may determine (see attached list). Proof of serving the notification must be submitted to the Municipality, within 14 days of serving the notification.
 - 5.3. The notice must be served in accordance with section 35 of the said legislation and in accordance with the additional requirements as may be determined by the Municipality. The notice must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
6. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Yours faithfully



J JANSEN VAN RENSBURG
ACTING MANAGER: TOWN PLANNING AND BUILDING CONTROL

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APPEAL FORM

(Section 79 of the Proposed Standard Draft By-law on Municipal Land Use Planning)

KINDLY NOTE: Please complete this form using BLOCK capitals and ticking the appropriate boxes. Append this form to your letter of appeal which must comply with section 80 of the Theewaterskloof Sstandard By-law on Municipal Land Use Planning.

PART A: APPEAL

Are you appealing against the decision made by the authorised employee or Tribunal?	Y	N	If Yes, indicate in Part E if the appeal is lodged against the whole decision or part thereof. If the latter applies provide a description of the part.
Are you appealing in respect of the failure of the authorised employee or Tribunal to make a decision within the period contemplated in section 57(1) or (2)?	Y	N	If Yes, provide facts that prove the failure in Part E.
Are you appealing against the condition(s) of approval imposed by the authorised employee or Tribunal?	Y	N	If Yes, list relevant condition(s) and provide a description in Part E.
Is your appeal based on and primarily concerned with the process followed prior to the authorised employee or Tribunal decision?	Y	N	If Yes, specify in Part E.
Is your appeal based on and primarily concerned with the merits of the land development or land use application on which it is believed that the authorised employee or Tribunal erred in coming to the conclusion?	Y	N	If Yes, specify in Part E.
Date of decision	DD/MM/YYYY	Date receiving notice of decision	DD/MM/YYYY
Who took the original decision?	<input checked="" type="checkbox"/>	Authorised employee	<input checked="" type="checkbox"/> Tribunal

PART B: APPELLANT'S DETAILS

First name(s)	
Surname	

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Company or legal person's name <i>(if applicable)</i>					
Postal address					Postal Code
Email					
Tel		Fax		Cell	

PART C: APPELLANT'S PROPERTY DESCRIPTION *(Property that is affected by proposed development)*

Number(s) of Erf/Erven/Portion(s) or Farm(s), allotment area.					
Physical Address					
GPS Coordinates		Town/City			

PART D: PROPERTY DESCRIPTION OF PROPOSED LAND DEVELOPMENT

Number(s) of Erf/Erven/Portion(s) or Farm(s), allotment area.					
Physical Address					
GPS Coordinates		Town/City			

PART E: APPEAL MOTIVATION AND REASONS*

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* Appeal motivation, information and reasons may be attached.

PART F: APPEAL FEE (for completion and use by official)

Appeal R

TOTAL APPEAL FEES* R

* Appeal fees that are paid to the Municipality are non-refundable and proof of payment of the application fees must accompany the application.

BANKING DETAILS

Name:

Bank:

Branch no.:

Account no.:

Payment reference:

(If applicable)

PART G: ATTACHMENTS AND SUPPORTING INFORMATION AND DOCUMENTATION

Complete the following checklist and attach all the information and documentation relevant to the appeal.

Y	N	Proof of payment of appeal fees (applicant)	Y	N	Proof of serving notice of appeal (applicant)
Y	N	Copy of decision and proof of notification	Y	N	Copy of conditions of approval
Y	N	Motivation and reasons for appeal	Y	N	Other (specify)

SECTION H: DECLARATION

I hereby wish to confirm the following :

- That the information contained in this appeal form and accompanying documentation is complete and correct.
- I'm aware that it is an offense in terms of section 85(1)(e) of the said legislation to supply particulars,

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information or answers knowing the particulars, information or answers to be false, incorrect or misleading or not believing them to be correct.

Appellant's signature: _____ Date: _____

Full name: _____

FOR OFFICE USE ONLY

Date received:

Received by:

Municipal Stamp

AREA CALCULATION

PROPERTY ZONING	AGRI ZONE 2	
BUILDING LINES		
STREET	30.000	meter
SIDES	30.000	meter
REAR	30.000	meter

ERF SIZE	2038800	m ²
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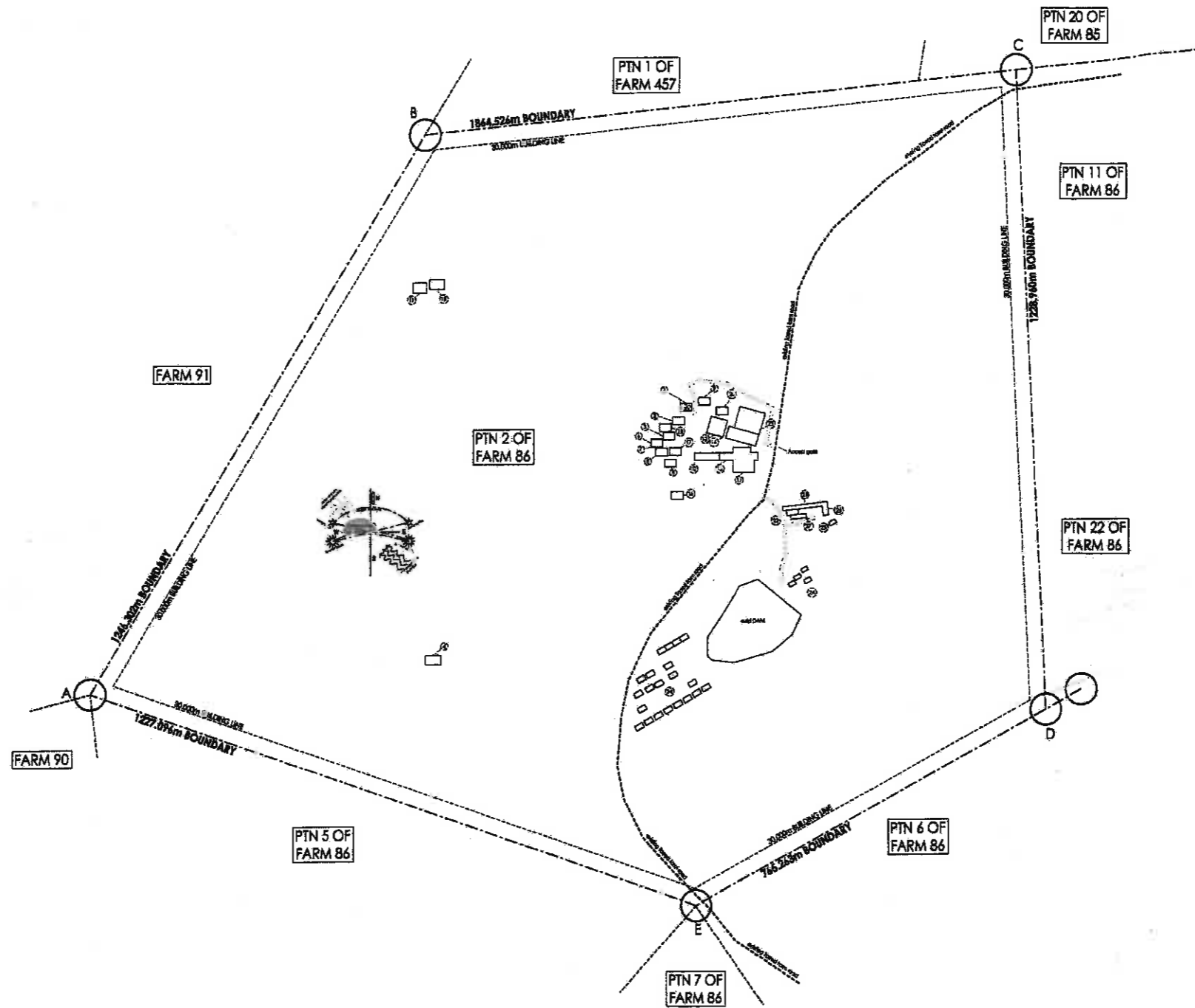
BUILDINGS - COVERED AREAS

1	Existing Managers House	154	m ²
	New Addition to Manager House	100.5	m ²
	New Covered Stoep	12.1	m ²
	New Open Stoep	18.9	m ²
	Existing Buildings		
2	Existing house	424	m ²
3	Existing Garage	51	m ²
4	Existing House	177	m ²
5	Existing house	380	m ²
6	Covered Stoep	18	m ²
7	Covered Stoep	8	m ²
8	Office	167	m ²
9	Timber building	84	m ²
10	Store	210	m ²
11	Cold Store	2388	m ²
12	Engine Room	78	m ²
13	Cold Store	1330	m ²
14	Engine Room	40	m ²
15	Store	40	m ²
16	Pump room	16	m ²
17	Training centre	104	m ²
18	Garage	69	m ²
19	Covered Afdak	425	m ²
20	Cold Store	300	m ²
21	Covered Afdak	780	m ²
22	Workshop	418	m ²
23	Cold Store	4013	m ²
24	Labourers Cottages x 21	1786	m ²
25	Outbuilding	48	m ²
26	Open Store	504	m ²
27	Office	48	m ²
	TOTAL	14191.5	m²

BUILDINGS - UNCOVERED AREAS

		m ²
	0	m ²

TOTAL	14191.5	m²
COVERAGE - ALLOWED	80	%
COVERAGE - ACTUAL	0.70	%
PARKING REQUIRED	142	
PARKING PROVIDED	142	
PARKING SIZE	2,500 x 5,000	



R. Attwell
CRAIG ARCHITECTURAL DESIGN
 ARCHITECT
 P. WILLIAMS
 professional architectural technology - MCA(PT) 1982
 10 JACKSON CARBON
 7271
 LINDHURST RD
 MURUMBIDGEE, N.S.W.

PROJECT
 ADDITIONS AND ALTERATIONS ON
 PORTION 2 OF FARM 86
 FARM MORESON
 VYEBOOM

CLIENT
 MORESON TRUST

DRAWING
SITE PLAN
COUNCIL SUBMISSION

DATE: 10 JUL 2019
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1:500
 DRAWING NO: [Number]

- NOTES**
- To the best of my knowledge these plans are drawn to comply with current and/or future specifications and any changes made on them after print are made at the owner's cost/ or builders expense and responsibility.
 - The author of this plan is not responsible for any deviation whatsoever from the specification, design, notes or compliance in terms of the NCA and SANS 10400 (Part 1 & 2).
 - The owner and contractor must obey all legislation of THE NMR, NEMBA, HERITAGE WESTERN CAPE, ENVIRONMENTAL ASSESSMENT or NATURE CONSERVATION (when applicable).
 - The contractor must verify all dimensions and enclosed drawings.
 - The author of this drawing is not liable for errors once construction has begun.
 - While every effort has been made in the preparation of this plan to avoid mistakes, the author can not guarantee against human error.
 - Contractor to verify all dimensions and levels on site before commencing any work.
 - Use given dimensions, do not scale.
 - All work to comply with NMR and Local Authority requirements.
 - This drawing and design copyright and shall not be reproduced in part or in whole without the prior written consent of the author.